

ARCHES

PORT CAMPBELL

Vision

Welcome!

*If you are reading this then it is safe to assume that you have an interest in this project
and a desire for further information.*

*You may be an existing resident curious about how this project will impact your quiet coastal village,
a local tradie or business owner excited about possible economic benefits,
or a purchaser seeking a new home that is walking distance to the beach.*

*Whatever your reason, this document aims to provide you with the information that you seek.
It outlines the project's vision and how this vision will be brought to life.*

*There is an opportunity to leave a legacy here,
and we are pushing the boundaries in a unique way to achieve that, but we can't do it alone.*

*So if you have an open mind,
and a willingness to learn,
we welcome you to join us on this journey!*



Introduction

Port Campbell is a coastal village on the Great Ocean Road, south west of the Otways National Park, and the gateway to the Twelve Apostles.

Arches Port Campbell is an extension of the Port Campbell village, located just 900m north east of the town centre, adjacent the footy oval. It is walking distance to the local shops, cafes, pub, and the iconic Port Campbell bay.

Ample is a project management company that specialises in delivering boutique projects across regional Victoria. Ample has been trusted to bring this community to life and we are very aware of the responsibility that follows this trust. This document outlines the steps we are taking to ensure that a proud legacy remains for residents, the community and the environment, long after we're gone.

Arches Port Campbell looks to continue the amazing work of our peers in the sustainable communities' space, whilst protecting and enhancing the coastal character of Port Campbell.

This new community will be delivered in accordance with the approved Development Plan, endorsed by Corangamite Shire in 2019.



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A wide-angle, high-angle photograph of a coastline. On the left, a large, layered rock cliff meets the water. The sea is a deep, vibrant blue with gentle ripples. In the foreground, a sandy beach curves along the water's edge. A single person, wearing a light-colored top and dark pants, stands on the beach looking out at the water. The text "Our Vision" is centered in the middle of the image in a white, serif font. The bottom of the image is slightly blurred, suggesting a shallow depth of field or a camera movement effect.

Our Vision



*Artist impression

We believe Arches Port Campbell can be a community that embodies coastal character and sustainable thinking. Our vision is supported by three key objectives:

Sustainability

Ensure our environmental footprint remains as small as possible, upfront and ongoing, by encouraging you to explore and implement sustainability measures across your whole property, both inside and outside your home

Character

Enhance and protect the character of Port Campbell by encouraging the delivery of a community that embodies coastal character, and implement measures to ensure that this character is protected for years to come

Landscape

Establish generous vegetated corridors along local roads and in front yards, to provide habitat for native animals, protection from the elements, and to promote openness and inclusion

Please note that this Vision is not intended to replicate or replace any existing or future statutory obligation. All construction within Arches Port Campbell must comply with any relevant Authority requirements including the Corangamite Shire Planning Scheme, the Building Code of Australia, the Victorian Building Regulations, and any other statutory requirement.

*Arches Port Campbell presents
an opportunity to demonstrate the good
that can be achieved when
a collective group of people work together
with a common vision*

How will our objectives be delivered?

Our approach is centered on explaining our objectives, expanding your knowledge, gaining your understanding and, should you wish to join us, working together to achieve an exciting outcome that benefits everyone.

Objectives will be approached in two ways:

Encouragement

There are objectives that you are encouraged to embrace. We outline what it is we wish to achieve and why, and we seek your understanding and participation in achieving this bigger picture.

Mandatory

There are objectives that are mandatory and you must adhere to. These mandatory objectives sit within the Memorandum of Common Provisions (MCP). When you purchase land in Arches Port Campbell you agree to adhere to these; they are not optional.

Our Vision is not intended to be financially punitive. It is intended to reduce our collective environmental impact and protect and enhance the character of this beautiful coastal town.

Indeed, there is a financial incentive for your participation.

On completion of your build, let us know that you have achieved the Sustainability objective and that you are not in breach of the MCP, and we will reward you with a \$7,000 payment.

An aerial photograph of a lighthouse situated on a rugged, rocky island. The lighthouse is a small, white, cylindrical structure with a red roof, surrounded by a few other buildings and a paved area. The island is surrounded by dark, calm water. The word "Sustainability" is overlaid in a white, serif font across the center of the image.

Sustainability

Objective:

Ensure our environmental footprint remains as small as possible, upfront and ongoing, by encouraging you to explore and implement sustainability measures across your whole property, both inside and outside your home

Any new construction is detrimental to the environment however the opportunity exists to minimise this impact by implementing sustainability measures across your entire property.

The housing industry's current approach to sustainability is to measure the efficiency of the dwelling fabric; it is called Nationwide House Energy Rating Scheme (NatHERS) and it is a star rating up to 10. Commencing 1st May 2024 for houses complying with the National Construction Code 2022, the Victorian minimum is 7 stars. A higher star-rated dwelling is more naturally comfortable in winter and summer, cheaper to heat and cool, has less reliance on grid resources, and in turn can significantly reduce the environmental impact of a house over its lifespan.

A higher star rating is a good thing.

In addition to the NatHERS building fabric performance rating system there are additional sustainability measures you can implement, both inside and out, that will reduce the environmental footprint of your entire property, not just your dwelling.



Sustainability Matrix

We encourage a holistic approach to sustainability.

Simple concepts such as installing roof top solar and water tanks to harvest natural resources, selecting smarter fittings and appliances to reduce your use of resources, increasing vegetation cover, reducing drainage run-off, using recycled materials; these are all sustainability measure that you can implement to reduce your environmental footprint, but not all are picked up under the current NatHERS start ratings system.

To assess your holistic contribution towards a more sustainable community we have developed our Sustainability Matrix. This tool weights the varying sustainability options you can implement including:

- » NatHERS energy rating
- » Roof-top solar PV and/or battery
- » Water tank plumbed for re-use
- » Use of recycled materials
- » Method of heating and cooling
- » Major appliances
- » Percentage of permeable land
- » Additional vegetation

The sustainability objective is satisfied by achieving a minimum 150 points. The Sustainability Matrix and Guidance Notes are located on pages 20 and 21 respectively.

Our aim here is twofold:

1. Educate you about sustainability measures you can implement to reduce your environmental footprint
2. Allow you to choose which sustainability measures appeal to you and fit within your budget

To be eligible for the \$7,000 payment you must achieve the sustainability objective.

At the time of writing, the sustainability objective is achieved by gaining 150 points on the Sustainability Matrix. To ensure that we met or exceed industry norm, Arches Port Campbell retains the right to update the Sustainability Matrix from time to time.

So we encourage you to investigate the wide range of sustainability measures available to you and apply those that work for your individual circumstances. Not only will your home be cheaper to operate and considerably more comfortable to live in, but it will also provide a better outcome for the environment for the lifespan of your home, and that is a good thing.



An aerial photograph of a rugged coastline. The water is a vibrant turquoise color, with white foam from waves crashing against dark, jagged rocks. The rocks are a mix of dark grey and light tan, with some green vegetation growing on the lower slopes. The overall scene is dynamic and powerful, capturing the raw energy of the ocean.

Character

Objective:

Enhance and protect the character of Port Campbell by encouraging the delivery of a community that embodies coastal character, and implement measures to ensure that this character is protected for years to come

This objective is generally descriptive rather than prescriptive and this is intentional. There are a limited number of requirements that relate to character in the MCP that you must adhere to.

Our desire is to avoid traditional suburban construction that is not in line with the character of small coastal towns. Prohibiting brick veneer/tiled roof construction will go some way to preventing generic suburban development. We strongly encourage you to design and deliver something more sympathetic to the existing coastal character of Port Campbell.

Building envelopes have been applied to all allotments to prevent wall to wall development and encourage increased open space and vegetation.



What is coastal character?

Coastal villages and small towns along the Great Ocean Road provide a broad example of coastal village character.

The architecture of these villages mirror the mid-1900s beach shack where dwellings were smaller, built form comprised of simple roof lines, lightweight natural or plain claddings, and blended in with existing vegetation. Native vegetation lined the streets which provided habitat for native animals and protection for residents from the elements.

We seek to mirror these coastal village characteristics in the built form and landscaping throughout Arches Port Campbell.

Arches Port Campbell encourages creative design that will enhance the coastal character of this region, how you do that is up to you.



Traditional Suburban Street X

- 1 Non Native Planting
- 2 No street trees
- 3 Bins visible from street
- 4 Front fencing
- 5 Inconsistent fencing types
- 6 Suburban brick veneer
- 7 Dwelling not facing or addressing secondary street frontage



Coastal Village Street ✓

- 1 Fencing to secondary street frontage to protect private space as per MCP
- 2 Planting from approved species list
- 3 No fencing on Main Street frontage
- 4 Claddings of timber and cement sheet
- 5 Flat roof and neutral tones enhance the coastal character of the estate

Siting

Correct siting of your dwelling will significantly increase the comfort of your home through utilisation of passive resources such as sunlight and breeze.

When considering the siting of your dwelling please carefully consider the following:

- » Maximise windows to the north to capture the northern sun, which will lessen the need for mechanical heating
- » The addition of smaller windows on the south allows for cross ventilation, which in turn lessens or removes the need for mechanical cooling
- » Arrange your built form to capture natural light from the north and to shelter your open space from the prevailing south-west breezes
- » Present your dwelling toward the street frontage, and where a corner allotment, please carefully consider how your dwelling presents to the secondary street frontage as this promotes openness and inclusion to all street frontages
- » You must locate your dwelling fully within the nominated building envelope

The subdivision layout and lot orientation has been planned to favour passive orientation. The majority of allotments align east-west with building envelopes intentionally sited toward the south which maximises your exposure to the north. North-south orientated allotments are wider to maximise your exposure to the north.

If you have ever lived in a home that embraces passive design and utilises northern sun you will appreciate what we are trying to achieve; the increased comfort of your home and the benefits to your mental and physical health are significant

Style and Built Form

The Vision calls for dwellings that compliment the existing coastal character of Port Campbell. We encourage you to drive around the township and familiarise yourself with the existing architecture.

When considering and designing the style and built form of your dwelling we encourage you to keep the following objectives at the forefront of your mind:

- » Please preference lightweight claddings such as timber and cement sheet and the like
- » Simple roof construction such as skillion and/or parapet is encouraged. Please design your roof so to maximise photovoltaic solar access
- » Appropriately designed eaves permit winter sun while blocking the hot summer sun
- » Please note that traditional suburban construction of brick veneer and ceramic roof tile is not permitted
- » The use of natural colours that blend in with the environment is encouraged
- » Double story construction is only permitted with prior written consent from Arches Port Campbell. We seek to ensure that your built form does not significantly impact your neighbours access to sun and light. Consent will not be unreasonably withheld.
- » Service elements (AC units and clothes lines and the like) must be hidden or screened from the street
- » Garage or carports should be integrated into the design of the dwelling and constructed of similar materials
- » Historical or replica heritage design such as Georgian, Victorian or Federation are not permitted

To assist you in this process we direct you to consider the following:

The Australian Federal Government released, single-storey, sustainable home floorplans: <https://www.yourhome.gov.au/house-designs>

The Cape, a sustainable development located at Cape Paterson, Victoria

At the time of writing, Arches Port Campbell are working with a small number of local builders to prepare and publish building options. When the offering is satisfactory, this information will be made available to you.

Of course, you are welcome to work with your own preferred builder or designer. Any good quality builder or designer should be very comfortable creating a design that is sympathetic to the Arches Port Campbell Vision.



A photograph of a landscaped garden area. In the background, there is a wooden fence with horizontal slats on the left and vertical planks on the right. A concrete shelf is mounted on the vertical plank section, holding three small potted plants. In the center, a large, light-colored, rounded rock sits on the ground. The garden is filled with various plants, including tall, thin grasses, green leafy plants, and a bush of silvery foliage. A glass lantern with a white interior is placed on a small stand behind the rock. The word "Landscaping" is written in a white, serif font across the middle of the image.

Landscaping

Objective:

Establish generous vegetated corridors along local roads and in front yards, to provide habitat for native animals, protection for residents from the elements, and to promote openness and inclusion

It is our vision that Arches Port Campbell becomes an extension of the existing landscape. We seek to blur the line between nature strip and front yard, to encourage openness and promote social cohesion.

Landscape requirements have been developed specifically for Arches Port Campbell, with the benefit of the wider community and surrounding environment in mind. It should be noted that landscape elements such as planting, fencing, and surface treatments are detailed within the MCP and must be adhered to.



Planting

Based on existing local fauna, an Approved Species list comprising trees, shrubs, and ground covers has been developed for Arches Port Campbell. The Approved Species list and planting requirements are listed in the MCP and must be adhered to.

When designing your landscape you must:

- » Only plant species from the Approved Species list within the first four (4) metres of any street frontage
- » Include a minimum of one large tree on any street frontage

Our Vision is for the nature strip vegetation to combine with your first four metres of native plantings to create native plant corridors throughout the community. We encourage you to continue using the Approved Species list throughout your entire property.

These native plant corridors will protect residents from strong southerly breezes and the hot summer sun. In time this vegetation will establish and encourage native animals such as brown bristlebird, bandicoots, blue wrens, ring tail possum, and black wallaby back into Arches Port Campbell.

Fencing

Fencing details have been developed for Arches Port Campbell, they sit within the MCP and are mandatory.

When designing and installing your fencing please note the following:

- » Fencing is not permitted on the Main Street Frontage, or between the dwelling and the Main Street Frontage.
- » There are special fencing requirements for corner allotments that have two street frontages.

Diagrams are included within the MCP to help you visualise these fencing requirements.

The decision to restrict front fencing was carefully made. It has been adopted to encourage social cohesion, continued maintenance of front yards, and promote free movement of native animals. It ensures an enhanced visual presentation for the benefit of all.

Drainage

When land is developed for residential use there is naturally an increase in hard-stand surfaces which leads to increased drainage run-off, and this can be detrimental for our waterways. The MCP has requirements for driveways and water tanks and these requirements are mandatory.

When designing your landscaping we ask you to consider the following:

- » Driveways must be constructed of a permeable material such as interlocking permeable pavers or crushed rock. Non-permeable materials such as concrete and asphalt are not permitted.
- » Avoid the use of hardstand surfaces throughout your property where possible.
- » Install a water tank that is greater than the minimum 10,000 required by the MCP.

As part of delivering this community we will appropriately address drainage run-off through the use of road side swale-drains and bio-retention assets, however the above measures will help reduce drainage run-off further, and the local waterways will benefit from that.





Completion



Timelines

On completion of your build there are timeline requirements within the MCP that you must adhere to:

- » Your driveway and crossover must be complete prior to occupancy
- » Any damage done to the grass or planting of your nature strip must be rectified prior to occupancy
- » Landscaping works to your street frontages must be complete within three (3) months of occupancy

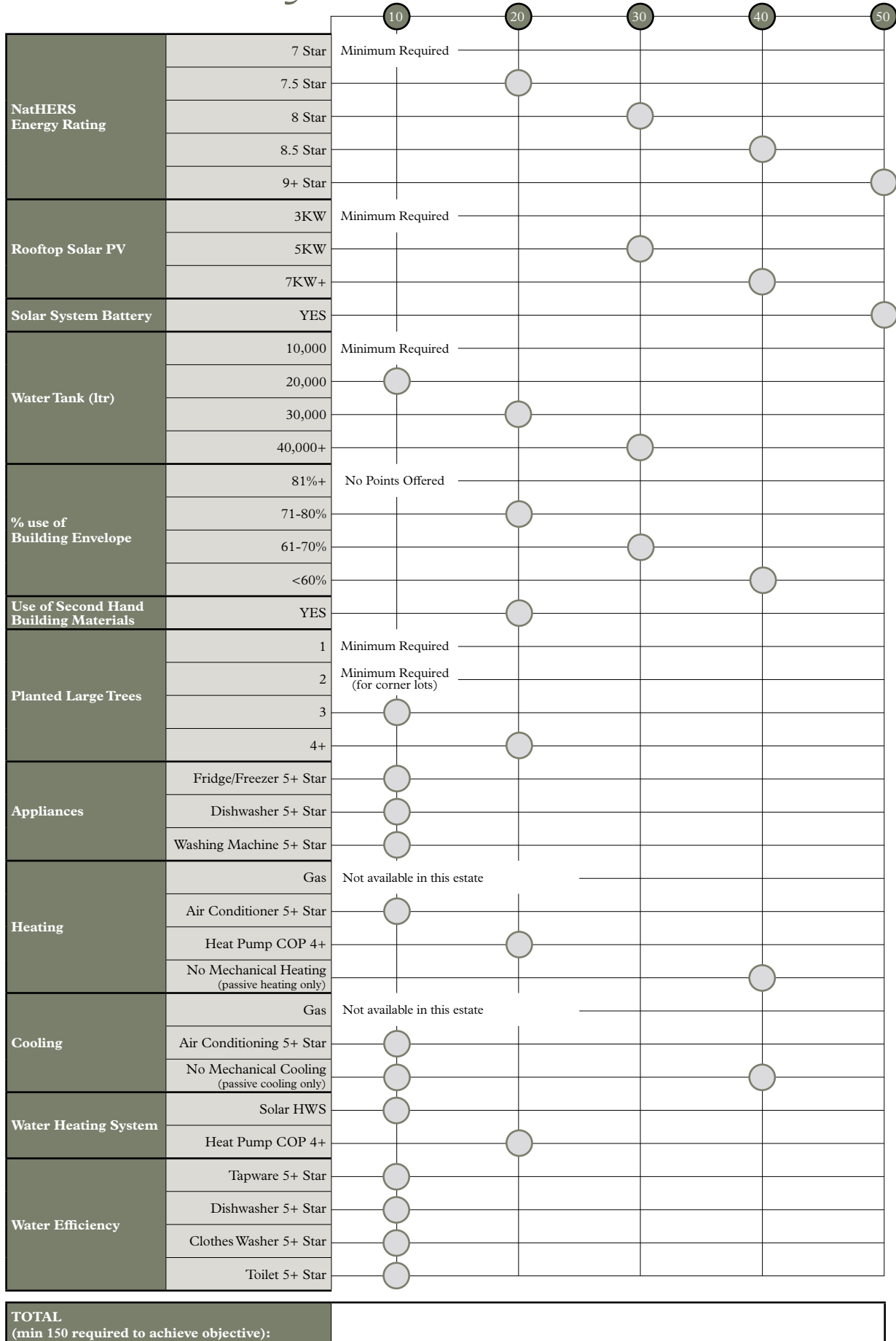
We have included these requirements to transition the estate from a construction site to a thriving community as quickly as possible, and to fast track the growth of our vegetation corridors.

Completion

On completion of your build, if you have satisfied the Sustainability objectives and are not in breach of the MCP, then you are eligible to apply for a \$7,000 payment.

This offer expires three (3) years after the issue of titles. After three years any unclaimed funds will be donated to the Port Campbell SLSC. Please follow instructions to the rear of the Sustainability Guidance notes to claim your payment.

Sustainability Checklist



Sustainability Matrix Guidance Notes

Arches Port Campbell seeks a holistic approach to sustainability.

In addition to the NatHERS star ratings system, which is a requirement of your Building Permit, there is a range of simple concepts that you can implement in and around your home that help reduce your environmental footprint.

There is a wide range of information available to help you understand the many ways you can minimise your footprint. A great place to start is the Victorian's Governments website: <https://www.yourhome.gov.au/>

We appreciate that on first glance, the Sustainability Matrix may seem challenging. To help you navigate this space we provide a quick overview of each Sustainability Matrix item below, along with some commentary and useful links.

NatHERS Energy Rating

The Nationwide House Energy Rating Scheme (NatHERS) is a star rating system out of ten, which rates the energy efficiency of a home based on its design. Your Building Permit will require that your designs are assessed for their NatHERS score prior to construction.

For further information speak to your Building Surveyor, or follow this link: <https://www.nathers.gov.au/>

At the time of writing the minimum requirement in Victoria is 6 stars. The Victorian Government has advised that as of 1st May 2024 the minimum star rating will be 7 stars.

Our Sustainability Matrix scores a NatHERS rating of 7.5 stars and above. When engaging your builder we encourage you to explore increasing your NatHERS star rating beyond the minimum of 7. The cost premium for higher performance is kept to minimal amounts if the house design is informed by good passive thermal design principles.

RoofTop Solar PV

Roof top solar photovoltaic (PV) panels reduce your carbon footprint by allowing you to generate renewable energy on site. They save you money too because when you generate your own power you don't have to purchase it off the grid. It's no longer a question of whether you should have PV, just how much.

There is a ton of information available, and just as many companies that will quote your install. A handy starting point to understand all things solar is the RACV website: <https://solar.racv.com.au/>

Please note that RACV are selling a product. We recommend their website for the information it contains not necessarily the product they sell, however RACV have a good reputation and have recommended some brands so this may be a logical place to start.

Please be aware that Arches requires a minimum of 3Kw to be installed. Our Sustainability Matrix scores 5Kw and above. At the time of writing a 7Kw system costs in the order of \$8,000 to have installed, excluding any Government subsidies, and when used in a standard home the payback period for this type of system is in the order of 5 to 6 years.

Solar System Battery

A battery allows you to store the excess solar power you generate and use it when you need it so you don't have to buy power back from the grid at a higher price when your panels are not generating power, for example, in the evening.

We appreciate that at the time of writing a battery solution is a significant cost.

A driving force behind sustainability is to reduce your carbon footprint. A battery allows you to use your own carbon-free energy when you cannot generate it, and we see this as a big step in the right direction.

Water Tank

It is a requirement of the Arches Port Campbell MCP that a minimum 10,000 litre tank be installed and plumbed in for re-use.

We encourage you to consider installing a larger tank so you can harvest valuable rainwater off your roof. A 20,000 litre round tank is approx. 3.5m in diameter and stands as tall as the average adult. 20,000 litre rectangle tanks come in a range of sizes but for comparison, can be approx. 4m long and 2.4m wide and a touch taller than the average adult. At the time of writing a 20,000 litre tank costs in the order of \$4000 to have installed.



Dwelling Footprint

All allotments at Arches Port Campbell have Building Envelopes and you must build your dwelling entirely within the Building Envelope in accordance with the MCP.

The intention of our Dwelling Footprint calculation is to encourage you to consider building a smaller dwelling.

So many estates have fence to fence construction with enormous dwellings being built.

We encourage you to assess what you need, and consider building a smaller and more efficient home. A smaller home requires fewer materials, and increases garden area which is good for local animals and will significantly reduce the amount of stormwater run-off into our waterways.

The Sustainability Matrix scores against the percentage of Building Envelope that you utilise for your dwelling. A smaller dwelling achieves a higher score.

For example:

Lot Number	Building Envelope	Example Dwelling Size	Footprint	Points
5	269m ²	200m ²	74%	20
48	398m ²	250m ²	62%	30
40	356m ²	300m ²	84%	0

Recycled Building Materials

The use of recycled building materials is great for the environment. It means that good quality materials can be given another life, and this cuts down the need to manufacture a new raw product.

The Sustainability Matrix awards 20 points for the use of recycled materials. We have intentionally not set a minimum benchmark because it can be implemented in many, many different ways. So it is up to you to make a genuine attempt to use recycled materials in a way that creates an impact. We reserve the right to use our discretion when allocating points to this item.

We strongly encourage you to speak with your builder to better understand where you can implement recycled materials in your build.

Planted Large Trees

To assist with our ultimate objective of creating a community of coastal character, the Arches Port Campbell MCP requires mandatory planting of a Large Tree in your front yard. If you live on a corner allotment you must plant minimum two Large Trees, one on each street frontage.

A Planted Large Tree is defined as a tree from the Large Tree section of the Approved Species List, braced with three stakes and webbing, and surrounded with 150mm thick mulching.

Please refer to this ABC guide for staking trees:

<https://www.abc.net.au/gardening/factsheets/staking-a-tree/9493998>

The Sustainability Matrix awards 10 points for the third Large Tree you plant, and 20 points if you plant a fourth Large Tree. Of course, some Large Trees can grow several metres high with a canopy spanning several metres, so please select your tree species and location carefully, taking care to consider your neighbours. Specimen selection and placement must consider long term impacts of shading on windows and/or solar panels which could reduce beneficial solar gain. If it fits in with your design, and is considerate of your neighbours, then you are encouraged to plant more Large Trees.

If you'd like some help with tree selection and/or purchasing, we would recommend speaking with Kim at White Ibis Nursery, an indigenous nursery just down the road in Princetown: Kim 0404 988 182 whiteibisnursery@gmail.com

Appliance Energy Star Rating

Large appliances such as your fridge, freezer, washing machine, and dish washer, under Australian Law, require an energy star rating.

At the time of writing, energy star rating is out of 6 stars. The higher the star rating the more energy efficient the appliance and in turn it will consume less energy, save you money on your energy bills, and help to reduce your emissions.

Please refer to the Energy Rating website for further information: <https://www.energyrating.gov.au/consumers>

You'll note that the Sustainability Matrix scores 10 points for 5+ stars.

We strongly discourage dryers, however if you desire a clothes dryer we recommend purchasing a heat pump dryer clothes dryer which is the most efficient dryer available on the market.



Heating

The most sustainable form of heating is to utilise and retain passive heat from the sun, and avoid the need for any mechanical heating whatsoever. We strongly encourage you to fully incorporate passive heating design solutions in your home as this will make the greatest impact at reducing your environmental footprint. However we acknowledge that some form of mechanical heating may be required, particularly during those cold winter months.

Gas is not available in this estate, so if mechanical heating is required then you can choose between electric or wood heater.

- » Wood heater should only be used if you have a sustainable source of harvesting wood and the appliance has high burn efficiency statistics (>74%) and low emission values.
- » Electric heating comes in many forms. To better understand what electric options are available to you, we refer you to this overview on the Renew website: <https://renew.org.au/renew-magazine/buyers-guides/electric-heating-options/>

COP (coefficient of performance) is a ratio of the heat moved to the electrical energy input. For example, if your heat pump uses 1kWh of electricity to move 4kWh of heat from outdoors to inside your home, then it has a COP of 4.

You'll note that a heat pump system with a COP 4+ receives 20 points in our Sustainability Matrix. Heat pumps are fantastic and we encourage you to consider them for your heating.

Cooling

The most sustainable form of cooling is passive ie external shading to block the sun, cross ventilation to utilise external breezes, fans to circulate internal air and create a cooling effect, and eaves to provide shade in summer and protection from weather all year round.

Gas is not available in this estate, so if mechanical cooling is desired then you can choose from a number of electric options.

You'll note that the Sustainability Matrix scores 10 points for 5+ stars.

To better understand the many cooling options are available to you, we refer you to this overview on the Renew website: <https://renew.org.au/renew-magazine/buyers-guides/cooling-buyers-guide/>

Closing

We believe that the information provided in these notes was appropriate at the time of writing. The sustainability space is continually evolving so we reserve the right to update this document and the Sustainability Matrix from time to time, to ensure that we meet or exceed industry best practice.

The \$7,000 payment is offered to the first person to build on each allotment only. The offer expires three (3) years after issue of titles.

To claim the \$7,000 payment you must:

- » Satisfy the Sustainability Objectives (please refer to the Project Vision)
- » Complete the Sustainability Matrix and provide supporting evidence such as receipts and photos
- » Issue documentation to admin@ampleig.com.au along with proof of ownership of your allotment. Please note that we may request additional supporting information
- » Not be in breach of the MCP in any way

Water Heating System

One of the biggest energy users in any home is water heating – it can account for around 21% of total energy use (on average, according to YourHome).

Installing an efficient and appropriately sized water heater for your household size, water use patterns, and your climate will save money and reduce greenhouse gas emissions without compromising your lifestyle.

Gas is not available in this estate, so the system that heats your water will be electric in some form:

- » Heat pump water heaters absorb warmth from the air and transfer it to heat water. Hence they are also referred to as 'air-source heat pumps'
- » Solar hot water systems utilise the sun energy to warm water. There are a variety of systems available to you
- » Traditional electric resistance water heaters use electricity to directly heat the water, and typically use approximately 4 times more electricity than that of a heat pump unit.

To better understand heat pump and solar water heating systems, we refer you to this overview on the Choice website: <https://www.choice.com.au/home-improvement/energy-saving/solar/buying-guides/solar-hot-water-systems>

Water Efficiency

Water-efficient appliances and fixtures, combined with sensible water use, save money and help keep our water reserves at sustainable levels.

Water is quickly becoming a scarce resource and the biggest water-users in our home are washing machines, showers/taps, and toilets. By using more water-efficient products you can significantly reduce your water consumption.

The Water Efficiency Labelling and Standards (WELS) scheme helps Australians compare the water efficiency of a range of appliances and fixtures. At the very top of the water rating label, the star rating displays how water efficient the product is; the higher number of stars, the higher the water efficiency.

You'll note that the Sustainability Matrix scores 10 points for 5+ stars.

To find out more we refer you to this overview on the Energy.Gov website: <https://www.energy.gov.au/households/water-efficiency>

Approved Species List

Trees		
<i>Acacia implexa</i>	Lightwood	7 x 5m
<i>Acacia melanoxylon</i>	Blackwood	9 x 8m
<i>Acacia paradoxa</i>	Prickly Acacia	3 x 3m
<i>Acacia pycnantha</i>	Golden Wattle	5 x 3m
<i>Allocasuarina littoralis</i>	Black Sheoake	10 x 4m
<i>Allocasuarina verticillata</i>	Drooping Sheoke	10 x 6m
<i>Callistemon sieberi</i>	River Bottlebrush	4 x 3m
<i>Eucalyptus obliqua</i>	Messmate	60 x 15m
<i>Eucalyptus leucoxylon ssp connata</i>	Yellow Gum	15 x 6m
<i>Eucalyptus ovata</i>	Swamp Gum	8 x 6m
<i>Eucalyptus viminalis</i>	Manna Gum	10 x 8m
<i>Eucalyptus willisii</i>	Shining Peppermint	
<i>Leptospermum lanigerum</i>	Wooly Tea Tree	4 x 2m
<i>Leptospermum continentale</i>	Prickly Tea-tree	3 x 2m
<i>Malaleuca lanceolata</i>	Coastal Moonah	7 x 5m

Shrubs		
<i>Acacia dealbata</i>	Silver Wattle	8 x 6m
<i>Acacia paradoxa</i>	Hedge Wattle	3 x 4m
<i>Acacia verticillata</i>	Prickly Moses	4 x 3m
<i>Banksia marginata</i>	Silver Banksia	5 x 3m
<i>Bursaria spinosa</i>	Sweet Bursaria	4 x 3m
<i>Cassinia aculeata</i>	Dogwood	3 x 2m
<i>Correa reflexa</i>	Correa reflexa	2 x 2m
<i>Correa alba</i>	White Correa	2 x 2m
<i>Dillwynia cinerascens</i>	Grey Parrot-pea	1 x 1m
<i>Goodenia ovata</i>	Hop Goodenia	2 x 2m
<i>Gynatrix pulchella</i>	Hemp bush	3 x 2m
<i>Hymenathera dentata</i>	Shrub Violet	3 x 2m
<i>Indigofera australis</i>	Austral Indigo	1 x 1m
<i>Leptospermum scoparium</i>	Manuka	2 x 2m
<i>Olearia ramulosa</i>	Twiggy Daisy-bush	2 x 1m
<i>Pimelea spinescens</i>	Plains Rice Flower	1.5 x 0.5m
<i>Pomaderris racemosa</i>	Pomaderris	3 x 2m
<i>Rhagodia candolleana</i>	Sea Berry Saltbush	2 x 2m
<i>Senecio odoratus</i>	Scented Groundsel	1 x 1m
<i>Solanum laciniatum</i>	Kangaroo Apple	2 x 2m
<i>Viminaria juncea</i>	Golden Spray	3 x 2m

Approved Species List

Groundcovers & Native Grasses		
<i>Austrodanthonia Caespitosa</i>	Common Wallaby Grass	1.2 x 0.5m
<i>Carex appressa</i>	Tall Sedge	1 x 1m
<i>Dianella tasmanica</i>	Tasman Flax Lily	1 x 1m
<i>Dianella revoluta</i>	Flax Lily	1 x 1.5m
<i>Dichondra rapens</i>	Kidney Weed	0.2 x 1.5m
<i>Poa poiformis</i>	Blue Tussock Grass	0.5 x 1m
<i>Poa labillardieri</i>	Tussock Grass	0.8 x 0.8m
<i>Lomandra longifolia</i>	Spiny Headed Mat-Rush	1 x 1m
<i>Lomandra longifolia (tanika)</i>	Tanika	1 x 1m
<i>Leucophyta brownii</i>	Cushion Bush	0.6 x 1m
<i>Isolepis nodosa</i>	Knobby Club-sedge	1 x 0.5m
<i>Themeda trianda</i>	Kangaroo Grass	1.5 x 0.5m
<i>Carpobrotus rossii</i>	Pigface	0.2 x 1m
<i>Chrysocephalum apiculatum</i>	Common Everlasting	0.2 x 1m
<i>Calcocephalus lacteus</i>	Milky Beauty Heads	0.3 x 1m
<i>Calcocephalus citreus</i>	Lemon beauty Heads	0.3 x 1m



BUILDING ENVELOPE PLAN

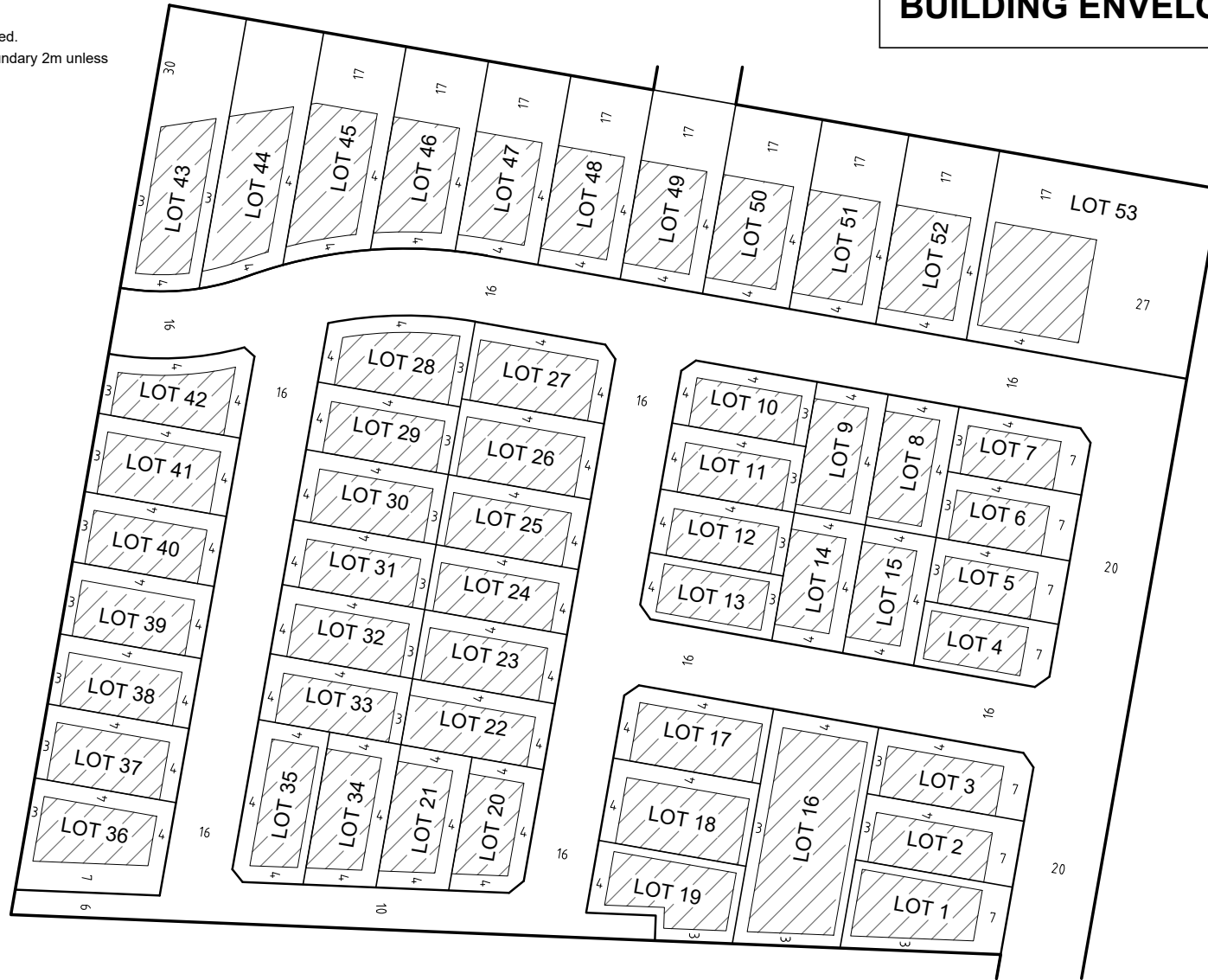
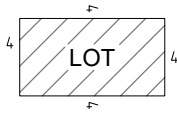


Notations

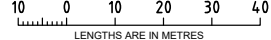
- Building envelopes shown as hatched.
- Building envelope setback from boundary 2m unless abutting or shown otherwise.

Legend

- Building envelope (hatched) with setbacks to boundary.




Smith Land Surveyors Pty Ltd
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SCALE 1:1000

 LENGTHS ARE IN METRES
 LICENCED SURVEYOR Glenn Graham Smith
 REFERENCE: 2020-0178-BE VERSION: 12

ORIGINAL SHEET SIZE: A3
 SHEET 1 OF 2

BUILDING ENVELOPE PLAN

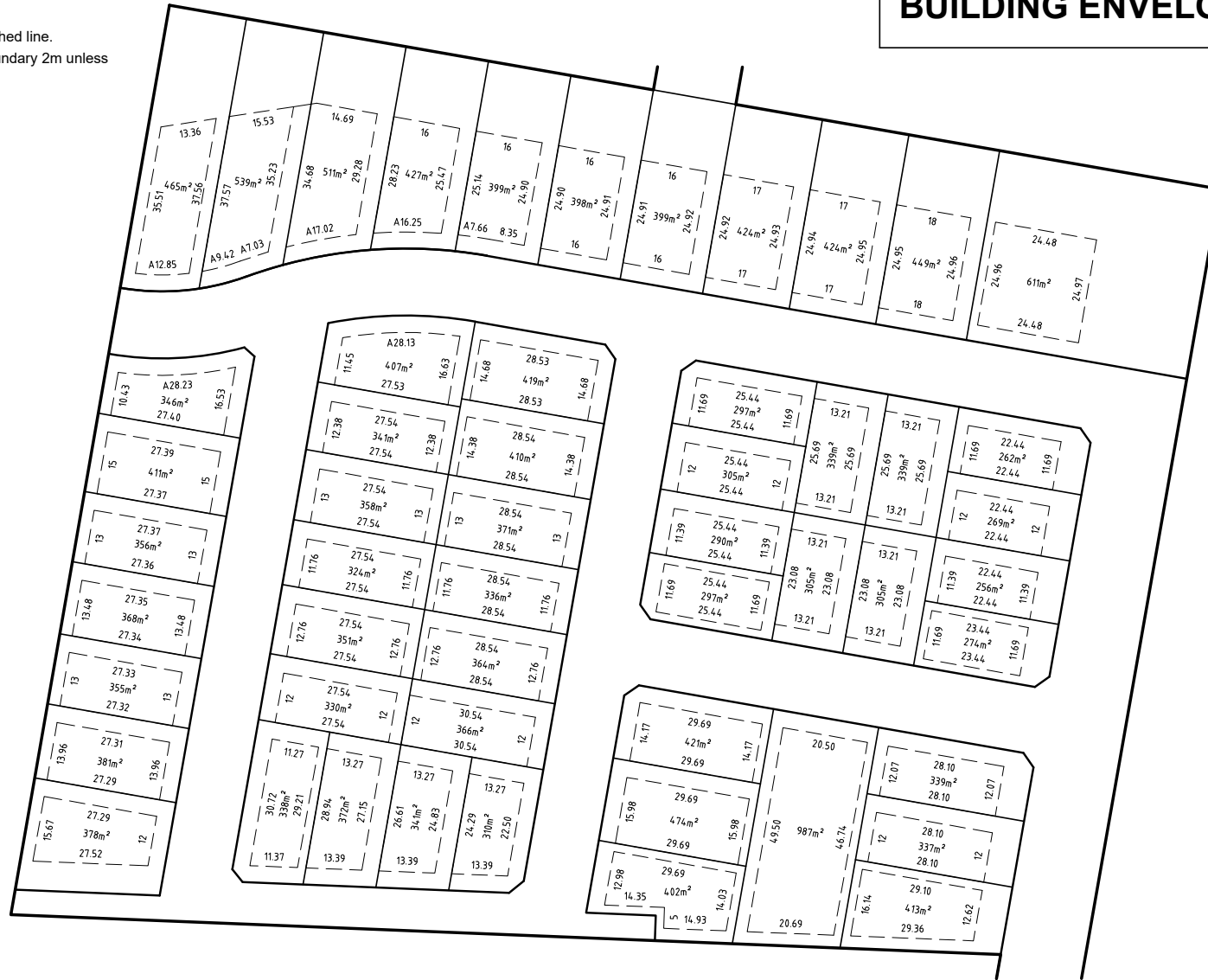
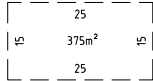


Notations

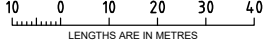
- Building envelopes shown as a dashed line.
- Building envelope setback from boundary 2m unless abutting or shown otherwise.

Legend

- Building envelope (dashed line) with dimensions & area.




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